

ABBREVIATIONS

ABV	ABOVE	1. THE TERM "CONSTRUCTION DOCUMENTS"
AC	ACOVE FINISH FLOOR	DESIGNER'S DRAWINGS, SPECIFICATIONS, CHANGE ORDERS, CONSTRUCTION
ACTILE	ACUSTICAL TILE	CHANGE DIRECTIVES IF ANY DEPICTING THE WORK TO BE DONE BY THE GENERAL
ASC	ACUSTICAL SUSPENDE CEILING	CONTRACTOR ON THE SUBJECT CONSTRUCTION PROJECT.
ACT	ACTUAL	2. ALL WORK SHALL COMPLY WITH THE 2021 IRC, IFC, UPC, IMC AS AMENDED BY
AL	ALUMINUM	WASH. STATE. PROJECT SHALL ALSO COMPLY W/ JURISDICTIONAL CODE
ARCH	ARCHITECTURE	AMENDMENTS BY THE LOCAL AGENCY. CONTRACTOR IS RESPONSIBLE FOR
A TILE	ASPHALT TILE	OBTAINING NECESSARY PERMITS & INSPECTIONS TO COMPLETE THE WORK.
AVG	AVERAGE	CONTRACTOR TO HAVE CURRENT VALID CITY OR COUNTY BUSINESS LICENSE
BFF	BOTTOM FINISH FLOOR	PRIOR TO ISSUANCE OF PERMIT. WHEN REQUIRED BY LAW.
BLKG	BLOCKING	3. PLAN DIMENSIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE TO
BR	BRICK	FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED AS "CLEAR" OR
BOS	BOTTOM OF STRUCTURE	"CLR" WHICH MEANS TO FACE OF WALL FINISH. DO NOT SCALE THE DRAWINGS.
CPT	CARPET	USE CALCULATED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS, DATUM AND LEVELS
CL	CEILING	PRIOR TO CONSTRUCTION. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL
CL	CENTER LINE	EQUIPMENT. PROVIDE ALL BLOCK-OUTS, BLOCKING, BACKING AND JACKS REQUIRED
C TO C	CENTER TO CENTER	FOR DUCTS, PIPES, CONDUITS, EQUIPMENT, FIXTURES AND CABINETS. PROVIDE
CT	CERAMIC TILE	CLOSURE, MEETING THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, AT
CO	CLEAN OUT	RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF LOCATIONS. ALL REQUIRED
CLO	CLOSET	FIRE-RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF
CW	COLD WATER	STRUCTURE ABOVE OR AS REQUIRED BY CODE
COL	COLUMN	4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL,
CNC	CONCRETE	MECHANICAL, PLUMBING AND FIRE ALARM WORK DIRECTLY OR THROUGH
CMU	CONCRETE MASONRY UNIT	SUBCONTRACTORS AND DIRECTLY OR THROUGH SUBCONTRACTORS PROVIDE ALL
CONST	CONSTRUCTION	REQUIRED ENGINEERING, CALCULATIONS, FORMS, APPLY, PAY FOR & OBTAIN ALL
CONT	CONTINUOUS	REQUIRED PERMITS FOR THE PROJECT AS DEFINED IN THE CONSTRUCTION
COORD	COORDINATE	DOCUMENTS.
COR	CORRIDOR	5. THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES, INCLUDING
CFM	CUBIC FEET PER MINUTE	DESIGN-BUILD DOCUMENTS TO VERIFY SIZE, WEIGHT, POWER, LOCATION AND
DTL	DETAIL	OTHER REQUIREMENTS AND LOCATION OF THOSE ITEMS TO BE INSTALLED PRIOR
DIA	DIAMETER	TO COMMENCEMENT OF WORK.
DIM	DIMENSION	6. GENERAL CONTRACTOR SHALL BRING TO THE DESIGNER'S ATTENTION ANY
DR	DOOR	DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS, ACTUAL FIELD CONDITIONS
DN	DOWN	AND ANY DESIGN AND LAYOUT CHANGES REQUIRED DUE TO ANY SPECIFIC
D.S.	DOWNSPOUT	EQUIPMENT SELECTIONS OR ANY OTHER REASON PRIOR TO PURCHASING
DWG	DRAWING	EQUIPMENT AND MATERIAL.
DF	DRINKING FOUNTAIN	7. WHERE A CONSTRUCTION DETAIL IN THE CONSTRUCTION DOCUMENTS IS
EA	EACH	NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR
ELEC	ELECTRICAL	WORK BUT DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN, EXCEPT
ELEV	ELEVATION	UPON WRITTEN INSTRUCTIONS OF THE DESIGNER. DETAILS ARE INTENDED TO
EQ	EQUAL	SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATION MAY BE REQUIRED TO
EXIST	EXISTING	SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE
EXT	EXTERIOR	INCLUDED AS PART OF THE WORK OF THE CONTRACT.
FO	FACE OF FINISH OPENING	8. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THAT
FRP	FIBERGLASS REINF POLYESTER	ALL PROPERTY IS PROTECTED DURING THIS CONSTRUCTION. ANY DAMAGE OR
FIN	FINISH	CHANGED CONDITIONS SHALL BE REPAIRED AND RESTORED TO A CONDITION
FAAP	FIRE ALARM ANNUNCIATOR PANEL	EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF THE WORK. CONTRACTOR
FD	FIRE DAMPER	SHALL RESTORE ANY DAMAGE AT HIS OWN EXPENSE. WHERE EXISTING WORK IS
FE	FIRE EXTINGUISHER	DAMAGES, CUT OR DEFACED DUE TO PERFORMANCE OF NEW WORK, THE
FF	FACTORY FINISH	CONTRACTOR SHALL PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES.
FF	FINISH FLOOR	REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES
FRT	FIRE RETARDANT TREATED	SUCH AS CORNER, CEILING LINES, TOP OF BASE OR SIMILAR.
FLASH	FLASHING	9. VERIFY LOCATION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED
FLR	FLOOR	TO SEWER, SEPTIC, WATER, GAS, POWER, CABLE AND TELEPHONE. MARK AND
FND	FOUNDATION	PROTECT.
GA	GALUGE	10. CONTRACTOR SHALL ONLY PROCEED WITH WORK WHERE HAZARDOUS
GL	GLASS	MATERIALS ARE PRESENT AFTER RECEIPT OF THE BUILDING OWNERS HAZARDOUS
GALV	GALVANIZED	MATERIALS GOOD FAITH REPORT REQUIRED BY THE STATE. PRIOR TO ANY
GWB	GYPSSUM WALLBOARD TYPE X	DEMOLITION VERIFY & PERFORM ADDITIONAL HAZARDOUS MATERIAL TESTING AS
HC	HANDICAP	REQUIRED. LEGALLY REMOVE HAZARDOUS MATERIALS. PROVIDE LEGAL
HDWR	HARDWARE	DOCUMENTATION. CONTRACTOR SHALL COMPLY WITH FEDERAL AND STATE RULES
HP	HEAT PUMP	AND REGULATIONS WHEN HANDLING, REMOVING OR ENCAPSULATING HAZARDOUS
HT	HEIGHT	MATERIALS ON THE PROJECT.
HOR	HORIZONTAL	11. LEGALLY REMOVE & DISPOSE OF THE DEMOLITION AND CONSTRUCTION
HB	HOSE BIB, COLD WATER	DEBRIS. SHORING AND BRACING SHALL BE INSTALLED BEFORE ANY STRUCTURAL
HW	HOT WATER	MEMBERS ARE REMOVED OR BEFORE ANY NEW LOADS ARE ADDED UNTIL
HWT	HOT WATER TANK	PERMANENT SUPPORT AND STIFFENING ARE INSTALLED. DEMOLITION DEBRIS
ID	INSIDE DIMENSION	SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE.
INSUL	INSULATION	12. CONTRACTOR SHALL CHECK FOR ROT OR INFESTATION. ALL ROT SHALL BE
INT	INTERIOR	REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS
JNT	JOINT	DIRECTED BY A STRUCTURAL ENGINEER. THIS WORK SHALL BE BY CHANGE ORDER.
LVL	LEVEL	13. THE CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE TO AND AS
LAV	LAVATORY	APPROVED BY THE BUILDING OWNER AND THE TENANT IF TENANT IS THE
LIN	LINOLEUM	CONTRACTOR'S CLIENT
LT	LIGHT	14. CONTRACTOR SHALL RETAIN ONE SET OF THE CONSTRUCTION DOCUMENTS
MO	MASONRY OPENING	TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THE SET SHALL
MFR	MANUFACTURE	BE A PART OF THE CONTRACTOR'S CLOSE-OUT PACKAGE TO THE OWNER. CLOSE-OUT
MATL	MATERIAL	PACKAGE SHALL INCLUDE (3) SET OF SHOP DRAWINGS, PRODUCT LITERATURE,
MAX	MAXIMUM	EQUIPMENT WARRANTY MANUALS
MECH	MECHANICAL	15. CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE
MTL	METAL	RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF
MIN	MINIMUM	CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND
MUL	MULLION	PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE
NAT	NATURAL	LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL
NOM	NOMINAL	DEFEND, INDEMNIFY AND HOLD THE OWNER, TENANT AND DESIGNER HARMLESS
NA	NOT APPLICABLE	FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE
NIC	NOT IN THIS CONTRACT	PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING
NTS	NOT TO SCALE	FROM THE SOLE NEGLIGENCE OF THE OWNER, TENANT OR THE DESIGNER.
NO	NUMBER	16. THE DESIGNER HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE
OC	ON CENTER	DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE
OD	OUTSIDE DIMENSION	CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES OR
O/	OVER	PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK. THE
OVDH	OVERHEAD	UNDERTAKING OF PERIODIC SITE VISITS BY THE DESIGNER SHALL NOT BE
PNT	PAINT	CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE THEM
PTD	PAINTED	RESPONSIBLE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR
PL	PLASTIC LAMINATE	CONTRACTOR'S EMPLOYEES, OR EMPLOYEES OF SUPPLIERS OR
P-LAM	PLASTIC LAMINATE	SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY
PLYWD	PLYWOOD	BY ANY PERSON.
PT	PRESSURE-TREATED WOOD	17. THE CONSTRUCTION DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF THE
QNT	QTY	DESIGNER AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF
REF	REFRIGERATOR, REFERENCE	THE DESIGNER. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE
REINF	REINFORCING BAR	DESIGNER.
REV	REVISION	18. PERSONS USING THE INFORMATION IN THE CONSTRUCTION DOCUMENTS
R	RISER, RADIUS	WITHOUT PERMISSION OF THE DESIGNER DOES SO AT THEIR OWN RISK AND BY
RM,RMS	ROOM, ROOMS	SUCH AGREES TO INDEMNIFY THE DESIGNER AS WELL AS DESIGNER'S
RO	ROUGH OPENING	EMPLOYEES AND CONSULTANTS, AND TO HOLD HARMLESS FOR ANY INJURY OR
SAN	SANITARY DRAIN LINE	LOSS OF DAMAGE THAT MAY OCCUR.
SEC	SECTION	
SHT	SHEET	
SV	SHEET VINYL	
SC	SOLID CORE	
SPECS	SPECIFICATIONS	
SF	SQUARE FEET	
SS	STAINLESS STEEL	
STL	STEEL	
STORE	STORAGE	
STRUCT	STRUCTURAL	
SUSP	SUSPENDED	
TBD	TO BE DETERMINED	
THD	THRESHOLD	
TYP	TYPICAL	
UNFIN	UNFINISHED	
UNO	UNLESS NOTED OTHERWISE	
VERT	VINYL COMPOSITION TILE	
VIN	VERTICAL	
VTR	VINYL VENT TO ROOF	
WC	WATER CLOSET	
WP	WATERPROOFING	
WRB	WEATHER RESISTIVE BARRIER	
W	WIDTH	
WDO	WINDOW	
W/	WITH	
WD	WOOD	



1 VICINITY MAP
scale: NTS

#38022402143

19. PAINT ALL EXISTING, NEW OR REPAIRED GYPSUM WALL. PAINT OR STAIN OTHER SURFACES AS DIRECTED BY OWNER AND/OR INTERIOR DESIGNER

DOOR NOTES
1. VERIFY ALL R.O. AND JAMB DEPTHS PRIOR TO ORDERING.
GYPSUM WALLBOARD (GWB)/FINISHES & SOUND ATTENUATION
1. LEVEL 4 SYSTEM - SMOOTH FINISH. OR TEXTURED TO MATCH
2. 1-COAT TINTED PVA,
3. 2-COATS LATEX PAINT. (SHEEN PER PLAN NOTES)

ELECTRICAL:
1. BRING THE REQUIRED POWER TO AND MAKE ALL CONNECTIONS TO ALL EQUIPMENT PER CODE & CITY REQUIREMENTS.
2. MAKE ALL POWER CONNECTIONS TO EXISTING POWER PANEL IN SUITE.
3. PLANS HAVE NOT BEEN REVIEWED FOR ELECTRICAL CODE COMPLIANCE (2020 NEC OR WAC 296-46B). SEPARATE ELECTRICAL PERMIT(S) REQUIRED. EACH PERSON PERFORMING ELECTRICAL WORK (ELECTRICAL CONTRACTOR OR PROPERTY OWNER) IS RESPONSIBLE FOR APPLYING FOR THEIR OWN PERMIT(S).
NATURAL GAS CONNECTIONS:
1. BRING THE REQUIRED NATURAL GAS TO AND MAKE ALL CONNECTIONS TO ALL NG EQUIPMENT PER CODE REQUIREMENTS.
2. ATTAIN ALL REQUIRED PERMITS.

PLUMBING:
1. NEW WASTE PIPING & VENTS PER 2018 UPC & CONNECT TO EXISTING WASTE PIPE LEADING TO PUBLIC SEWER.
2. REFER TO THE PLANS FOR MORE REQUIREMENTS & PLUMBING FIXTURES.
3. POST, BEAM AND JOIST PENETRATIONS MUST BE APPROVED BY STRUCTURAL ENGINEER. NO PENETRATIONS OF STRUCTURAL TRUSS MEMBERS ALLOWED.
4. PROVIDE & INSTALL REQUIRED WATER PIPING TO ALL APPLIANCES REQUIRING WATER INCLUDING SINKS CONNECTIONS TO ALL EQUIPMENT PER CODE & CITY REQUIREMENTS.
5. PROVIDE HOT WATER TANK PER DRAWINGS TO SERVICE ENTIRE PROJECT W/ HOT WATER LOOP INCLUDING ON DEMAND RECIRC CONTROL TO MEETS 2018 WSEC REQUIREMENTS. SUPPORT TANKS WITH 2 EARTHQUAKE STRAPS. PROVIDE DRAIN PAN & POP-OFF TO SANITARY LINE. INSULATE BASE WHEN REQUIRED BY WSEC.
8. INSULATE HOT WATER PIPES TO R-3 PER WSEC. INSULATION MAY BE OMITTED AS PIPES PASS THROUGH STUDS, JOISTS OR BEAMS
GLASS NOTES:
1. ALL NEW AND REPLACED WINDOWS AND GLAZED DOORS TO HAVE U-VALUE OF .30 MAXIMUM. 2021 WSEC TABLE R402.11

DEFERRED SUBMITTALS:
ELECTRICAL
PLUMBING
MECHANICAL

PROJECT DESCRIPTION :	
CONVERT EXISTING 720 SF GARAGE TO 895 SF ADU WITH 1 BED, 1.5 BATHS AND 550 SF ATTACHED GARAGE.	
OWNER : JEFF BRUBAKER 2609 PATTON ST BELLINGHAM WA 98225	
BUILDING CODE	2021 IRC AMENDED WA
BUILDING TYPE	VB
BUILDING AREA	1,445 SF
BUILDING HEIGHT	20'-11" (DEFINITION 1)
LAND USE INFORMATION :	
ADDRESS :	2609 PATTON ST
PARCEL NUMBER :	38022402143
LEGAL DESCRIPTION :	ELDRIDGE'S 2ND ADD TO BELLINGHAM LOT 2 BLK 1
NEIGHBORHOOD :	BIRCHWOOD
ZONING :	RESIDENTIAL MULTI
WATERSHED :	LITTLE SQUALICUM CREEK
PARCEL SIZE :	5,594 sf
LOT COVERAGE:	35% / 1,958 sf ALLOWABLE

DRAWING INDEX	
ARCHITECTURAL	
A0.0	COVER PAGE
A1.1	SITE PLAN
A1.2	PROPOSED SITE PLAN
A2.1	AS-BUILTS
A2.2	FOUNDATION PLAN
A2.3	FLOOR PLAN
A2.4	ROOF PLAN
A3.1	ELEVATIONS
A3.2	SECTION A
A3.3	SECTION B
A7.1	DETAILS
A7.2	DETAILS
STRUCTURAL	
DESIGN PROFESSIONAL : JON FALCON FALCONWORKS DESIGN 119 NORTH COMMERCIAL STREET SUITE 1506 BELLINGHAM, WA 98225 360-319-2076 jon@falconworksdesign.com	
STRUCTURAL: LUKE PRONKER FRAME STUDIO 360-820-3507 luke@framestudio.com	

IMPERVIOUS SURFACE CALCULATIONS			
AREA	EXISTING	PROPOSED	SUBTOTAL
HOUSE	1,008	0	1,008 sf
DETACHED GARAGE	720	48	768 sf
COVERED PORCH	168	0	168 sf
PATIO	116	0	116 sf
DRIVEWAY	470	0	470 sf
TOTAL AREA IMPERVIOUS SURFACES			2,530 sf

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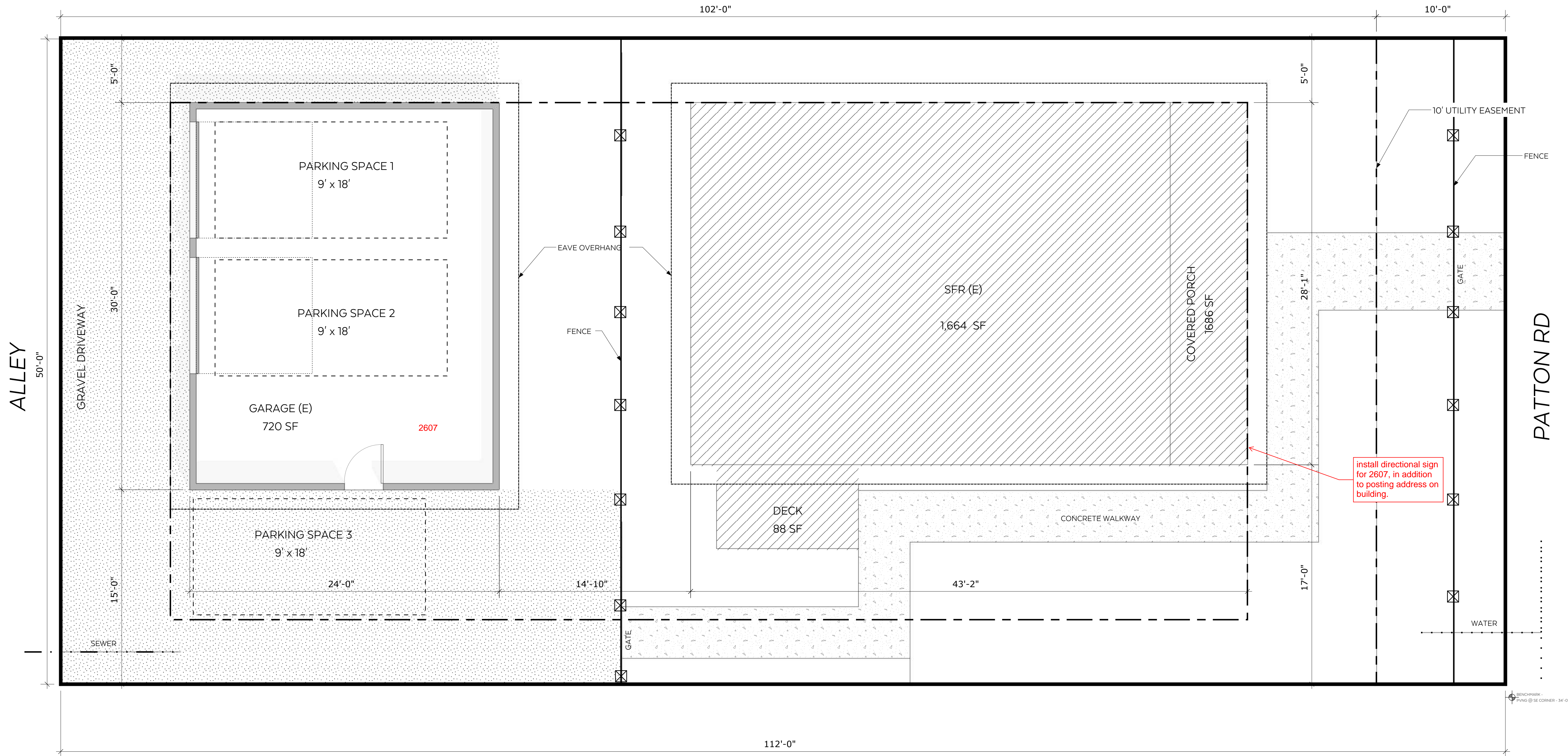
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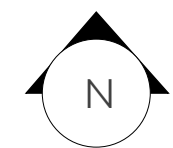
Cover Page

A0.0





1 EXISTING SITE
A1.5 scale: 1/4"=1'



- PROPERTY LINE
- WATER LINE
- PROPERTY SETBACKS
- SEWER LINE
- - - STORMWATER LINE

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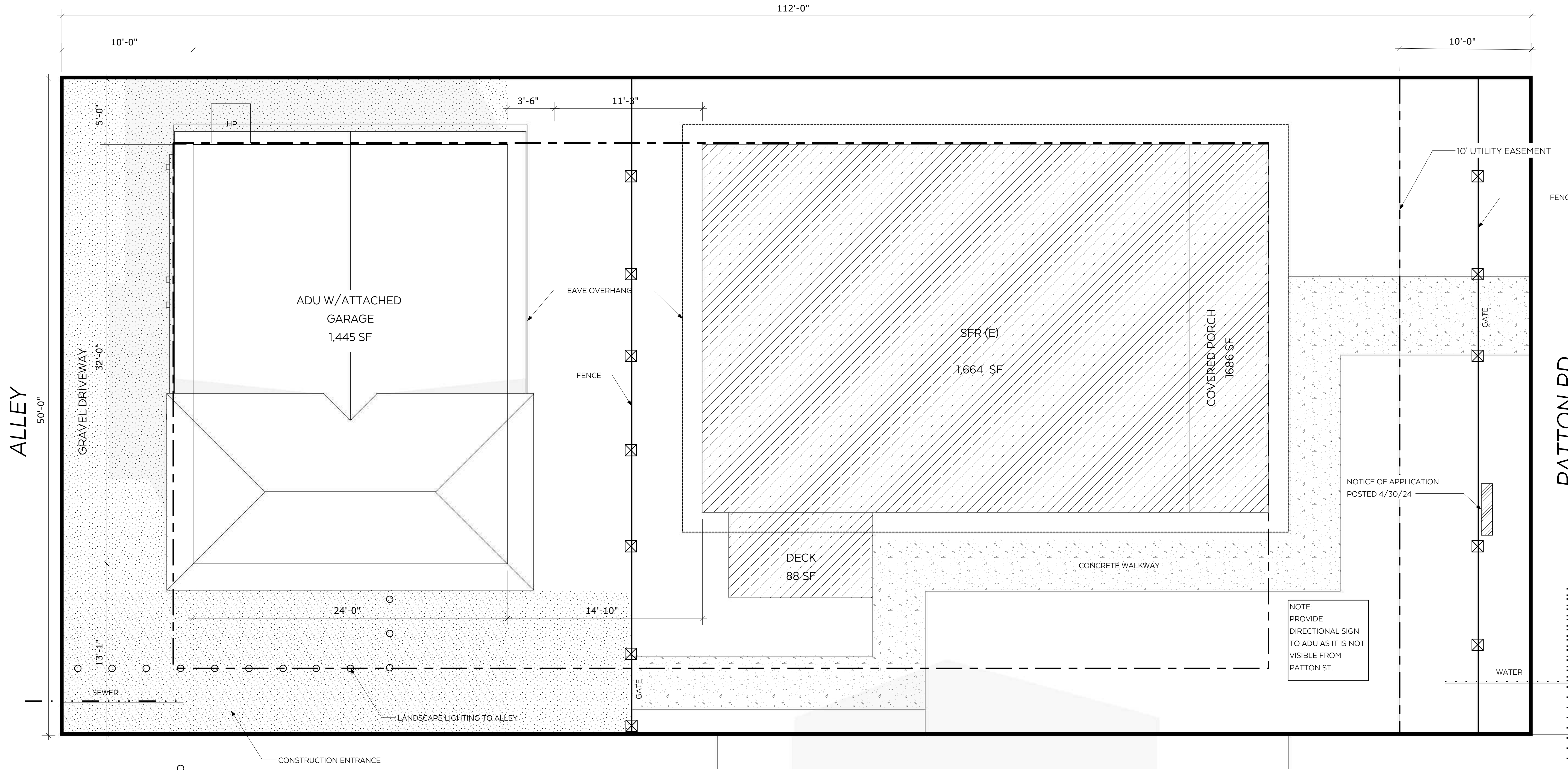
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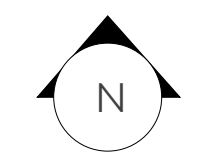
Existing Site Plan

A1.1





1 PROPOSED SITE
A1.5 scale: 1/4"=1'



PROPERTY LINE WATER LINE STORMWATER LINE
PROPERTY SETBACKS SEWER LINE

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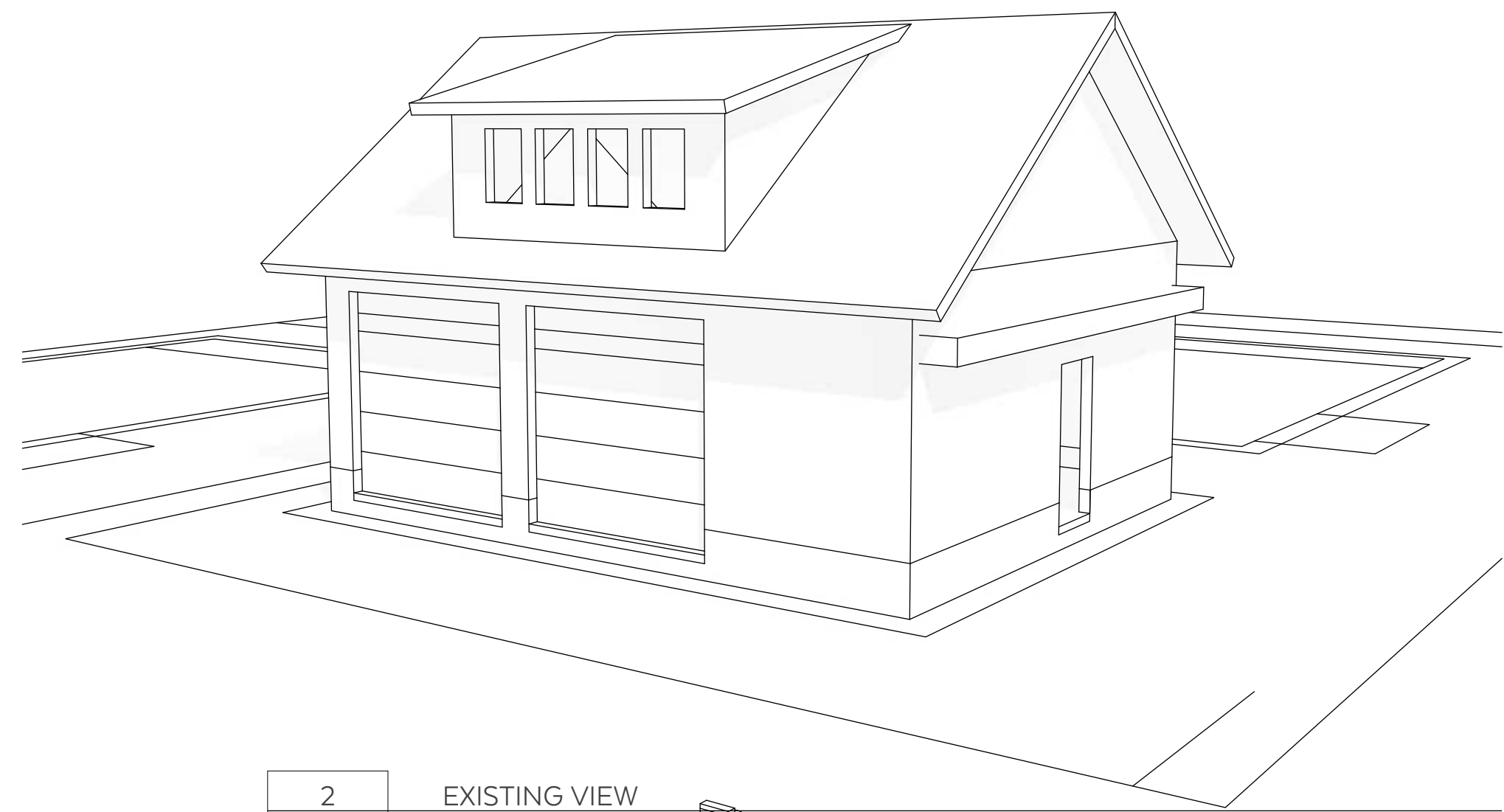
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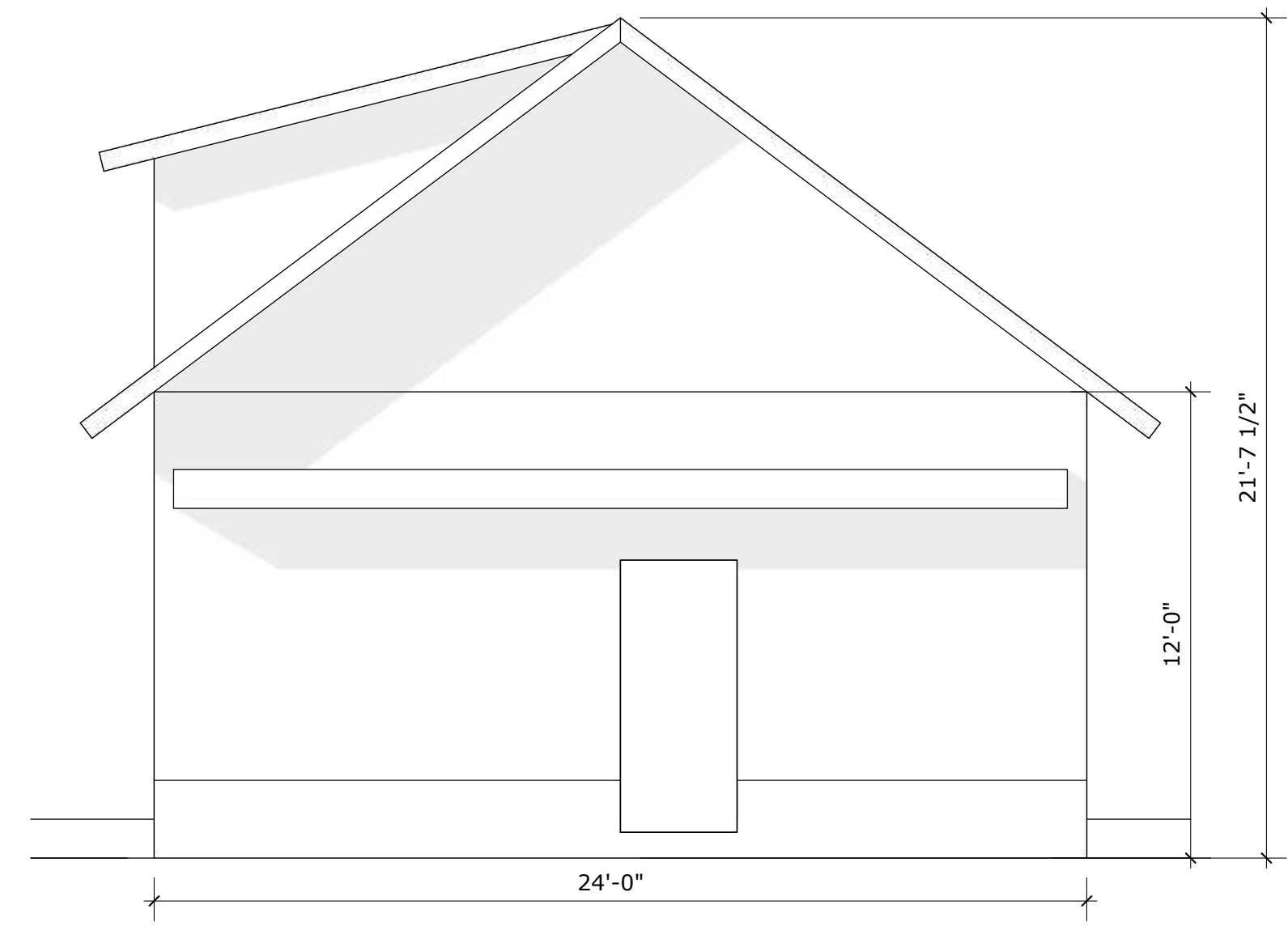
Proposed Site Plan

A1.2

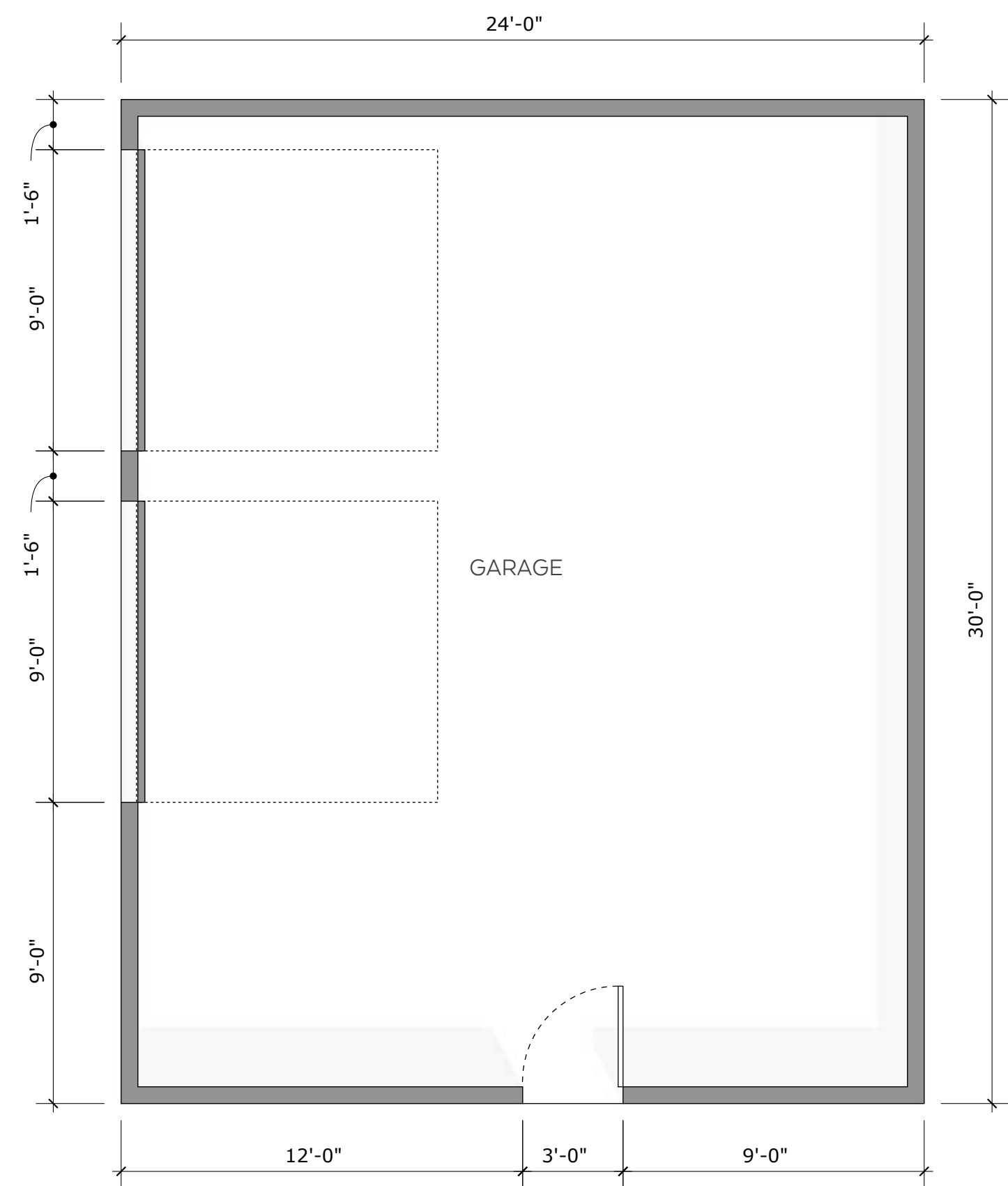




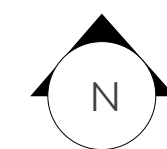
2
A2.1 EXISTING VIEW
scale: NTS



3
A2.1 SOUTH ELEVATION- EXISTING
scale: 1/4"=1'



1
A2.1 GROUND FLOOR - EXISTING
scale: 1/4"=1'



4
A2.1 WEST ELEVATION- EXISTING
scale: 1/4"=1'

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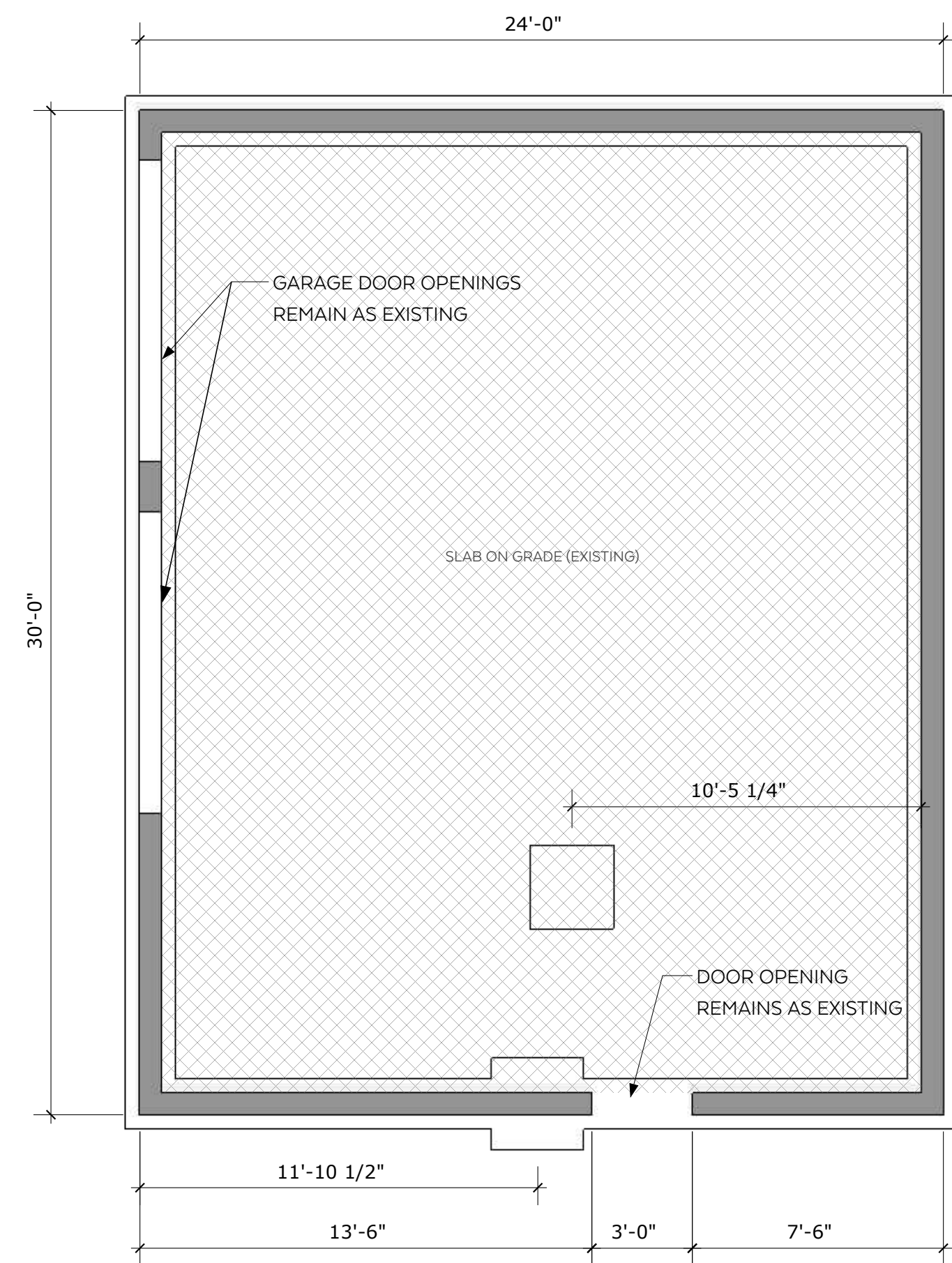
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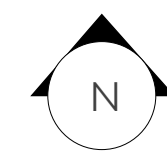
As-Builts

A2.1





1 FOUNDATION PLAN
A2.2 scale: 1/4"=1'



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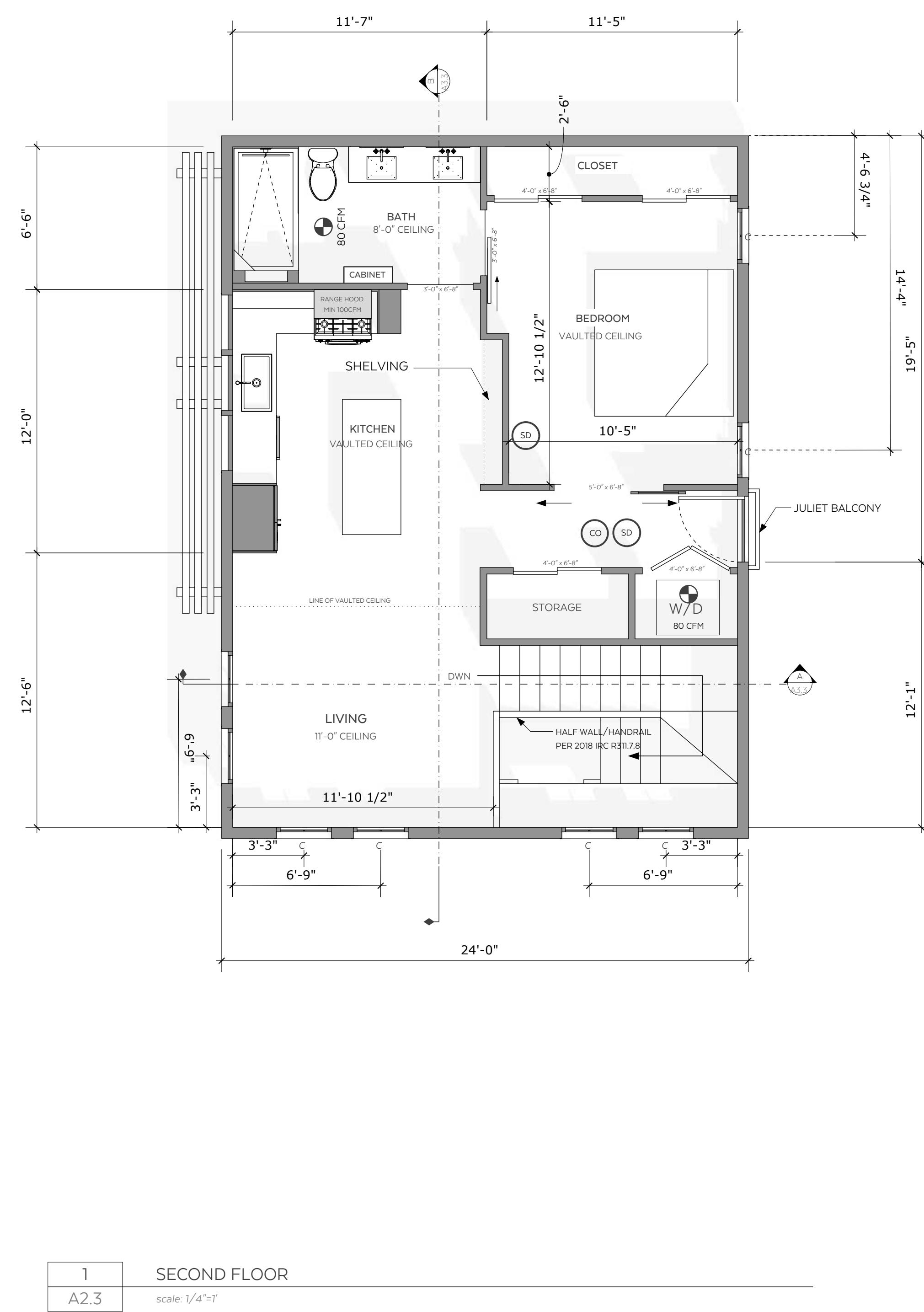
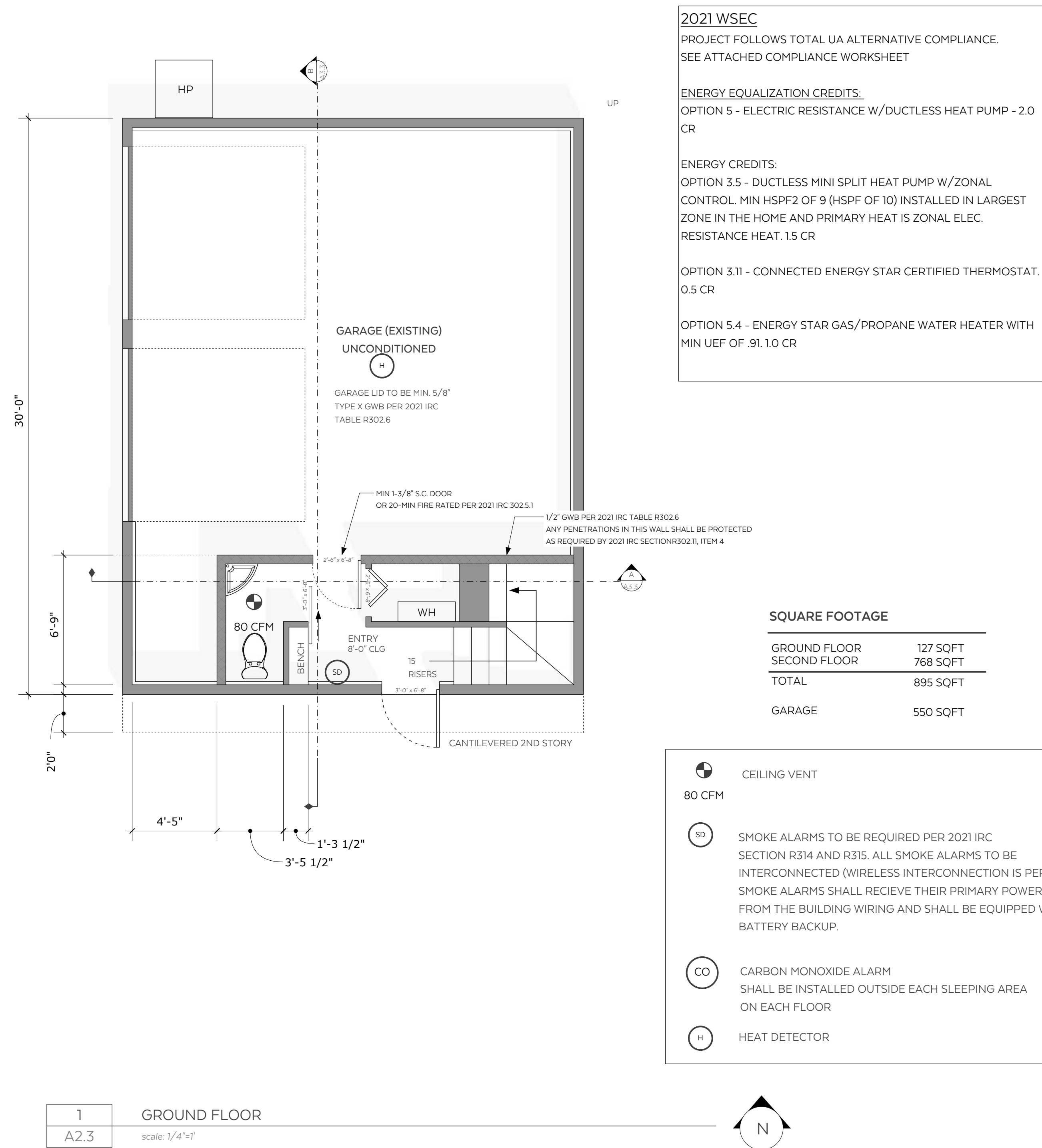
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Foundation Plan

A2.2





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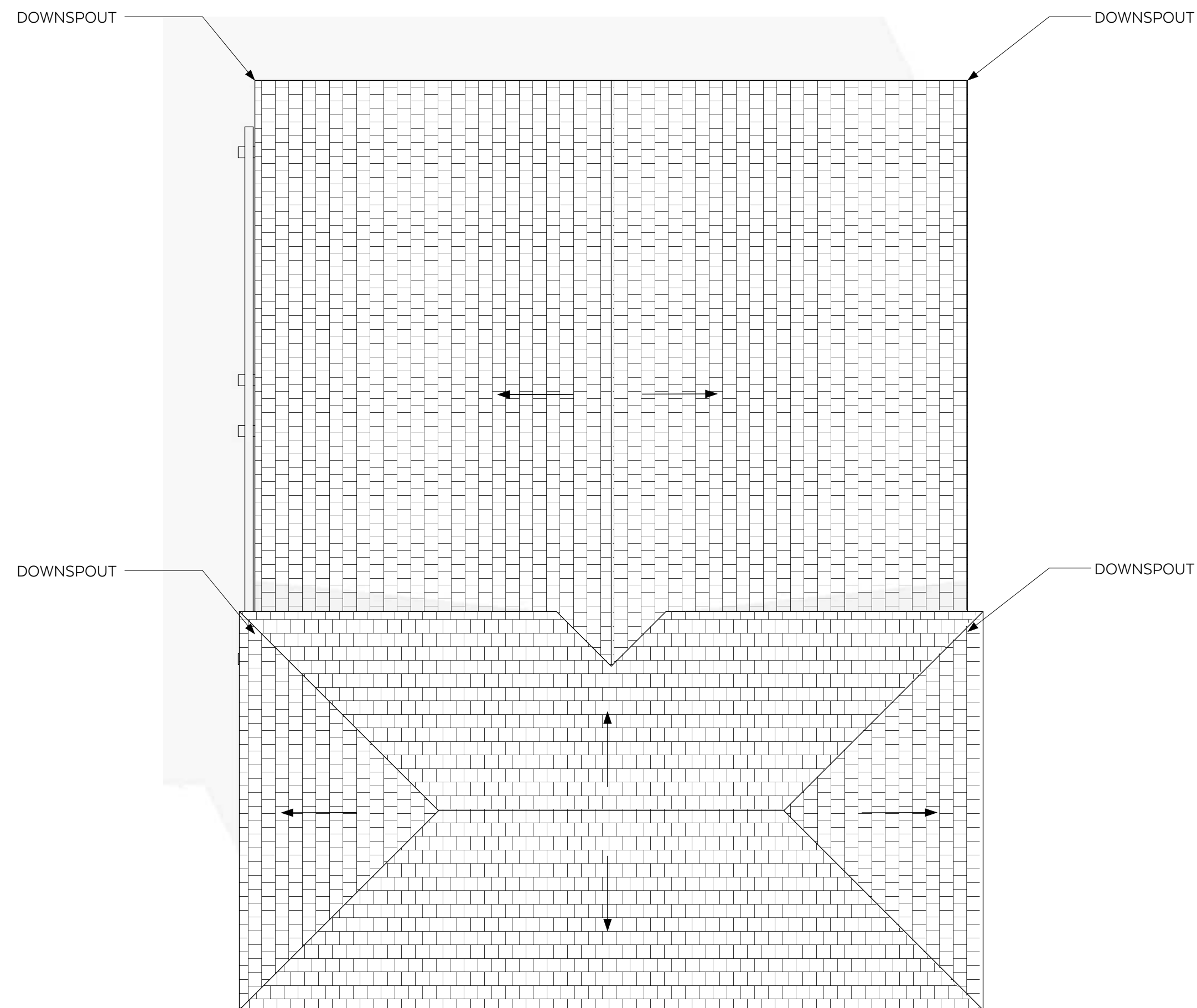
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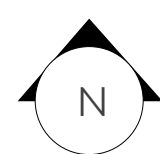
Floor plan

A2.3





1 ROOF PLAN
A2.4 scale: 1/4"=1'



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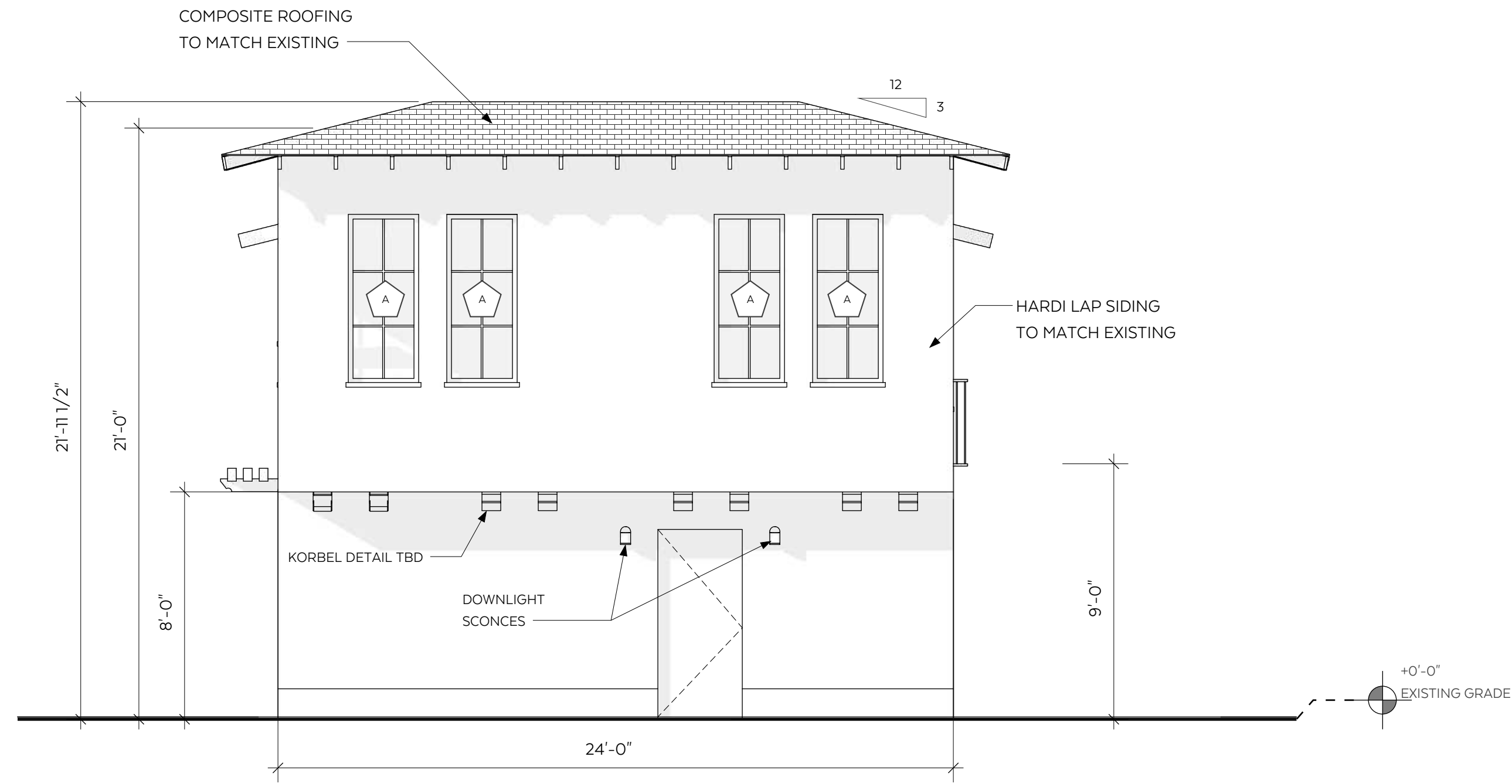
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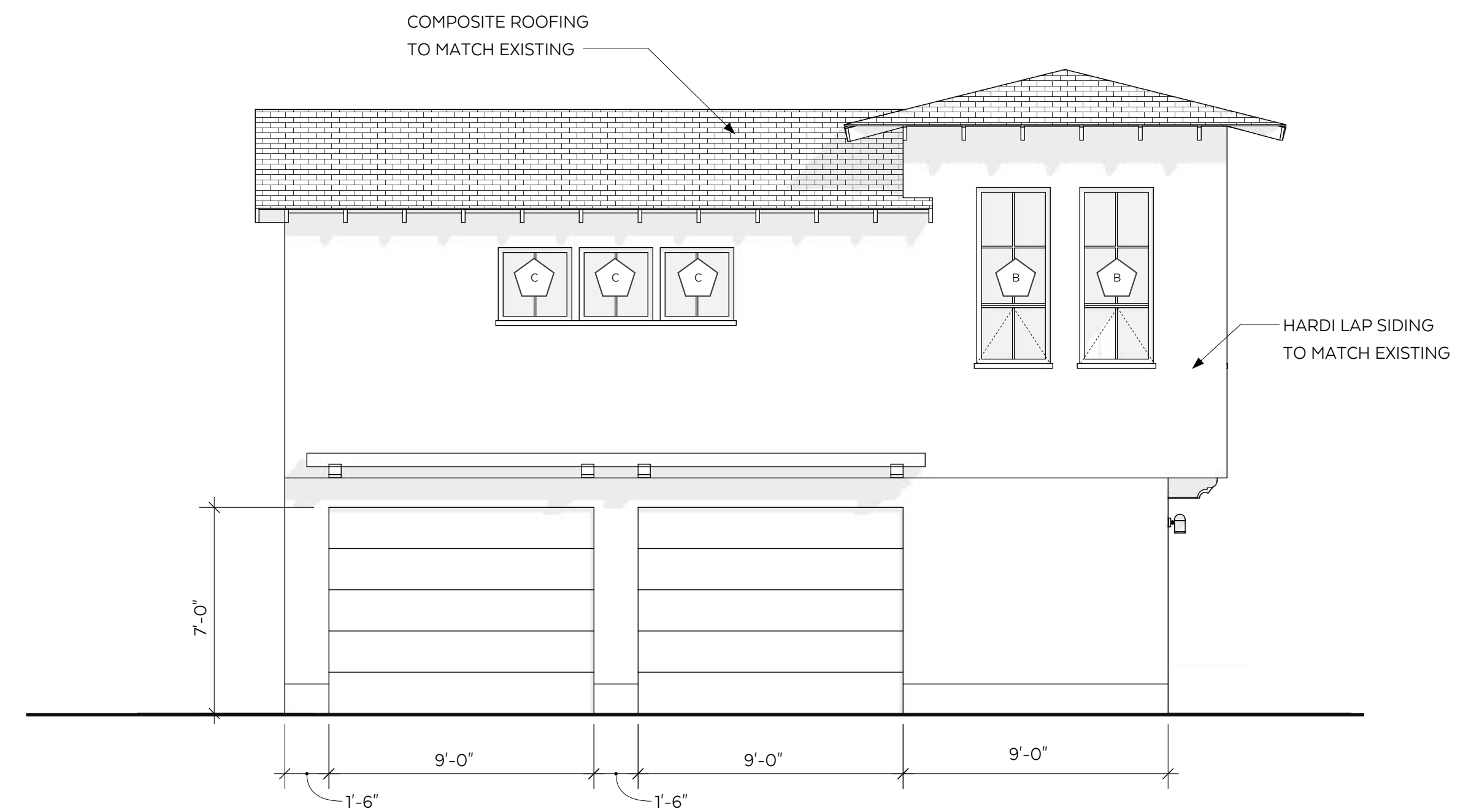
Roof Plan

A2.4

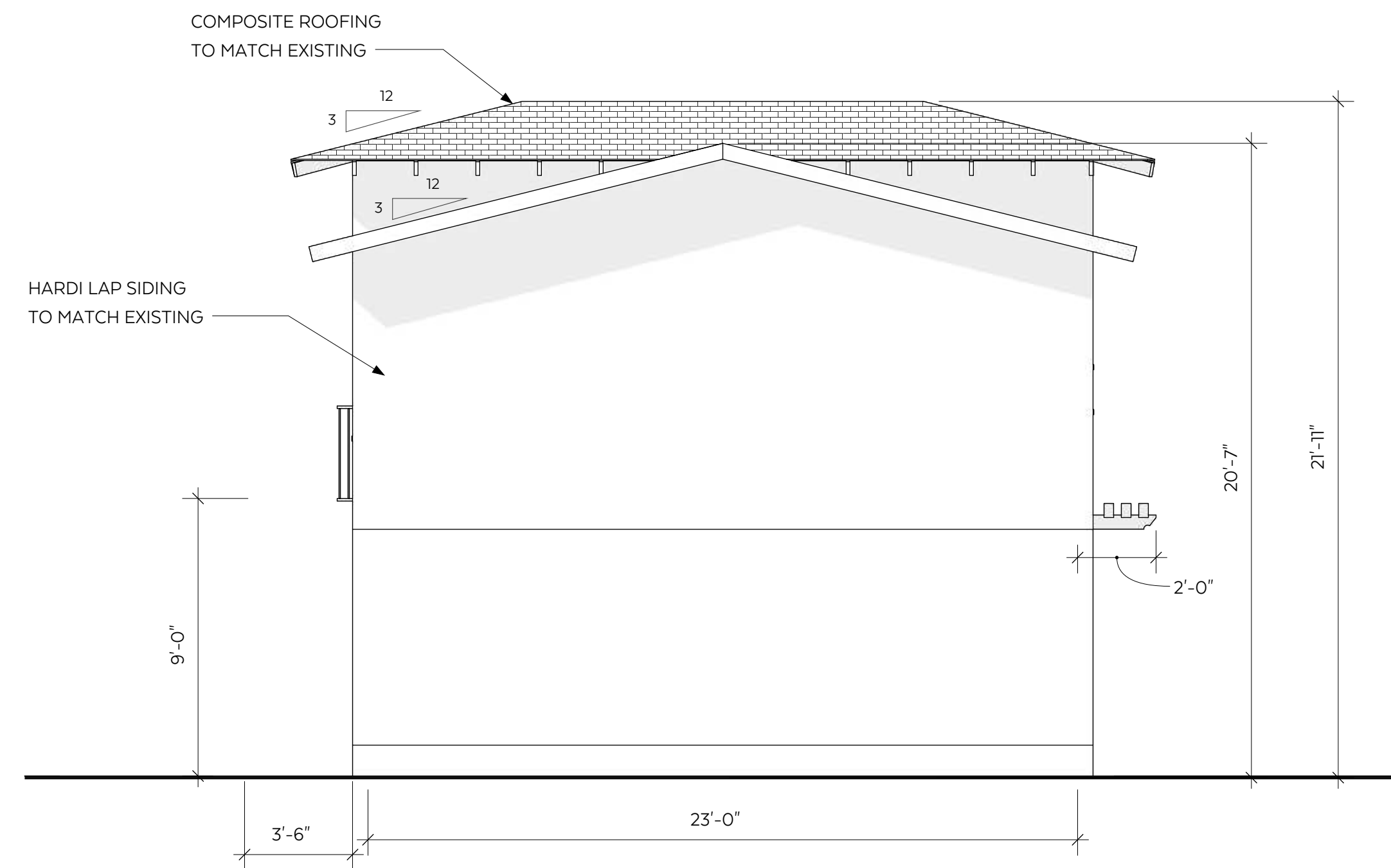




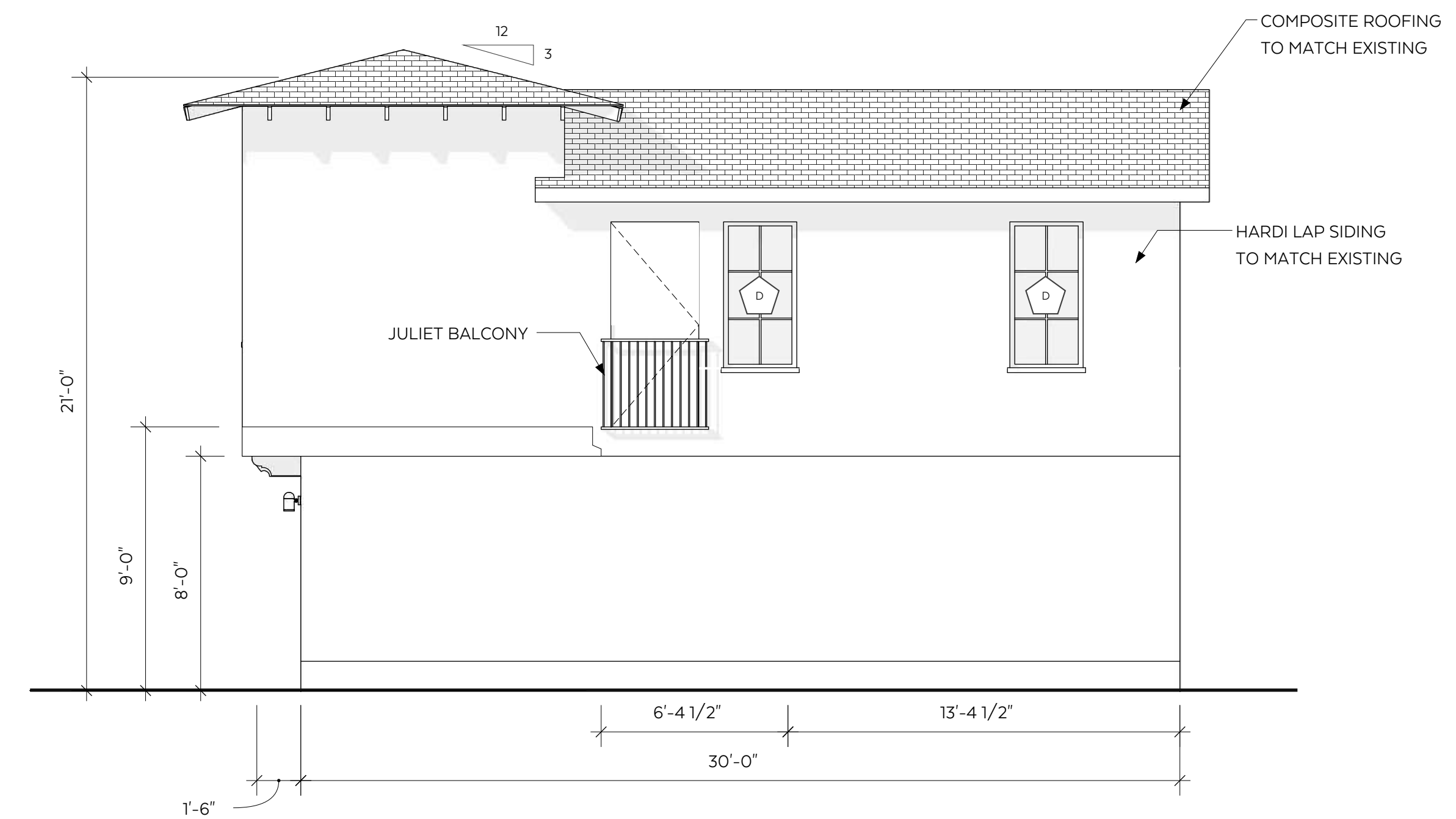
3 SOUTH ELEVATION
scale: 1/4"=1'



1 WEST ELEVATION
scale: 1/4"=1'



4 NORTH ELEVATION
scale: 1/4"=1'



2 EAST ELEVATION
scale: 1/4"=1'

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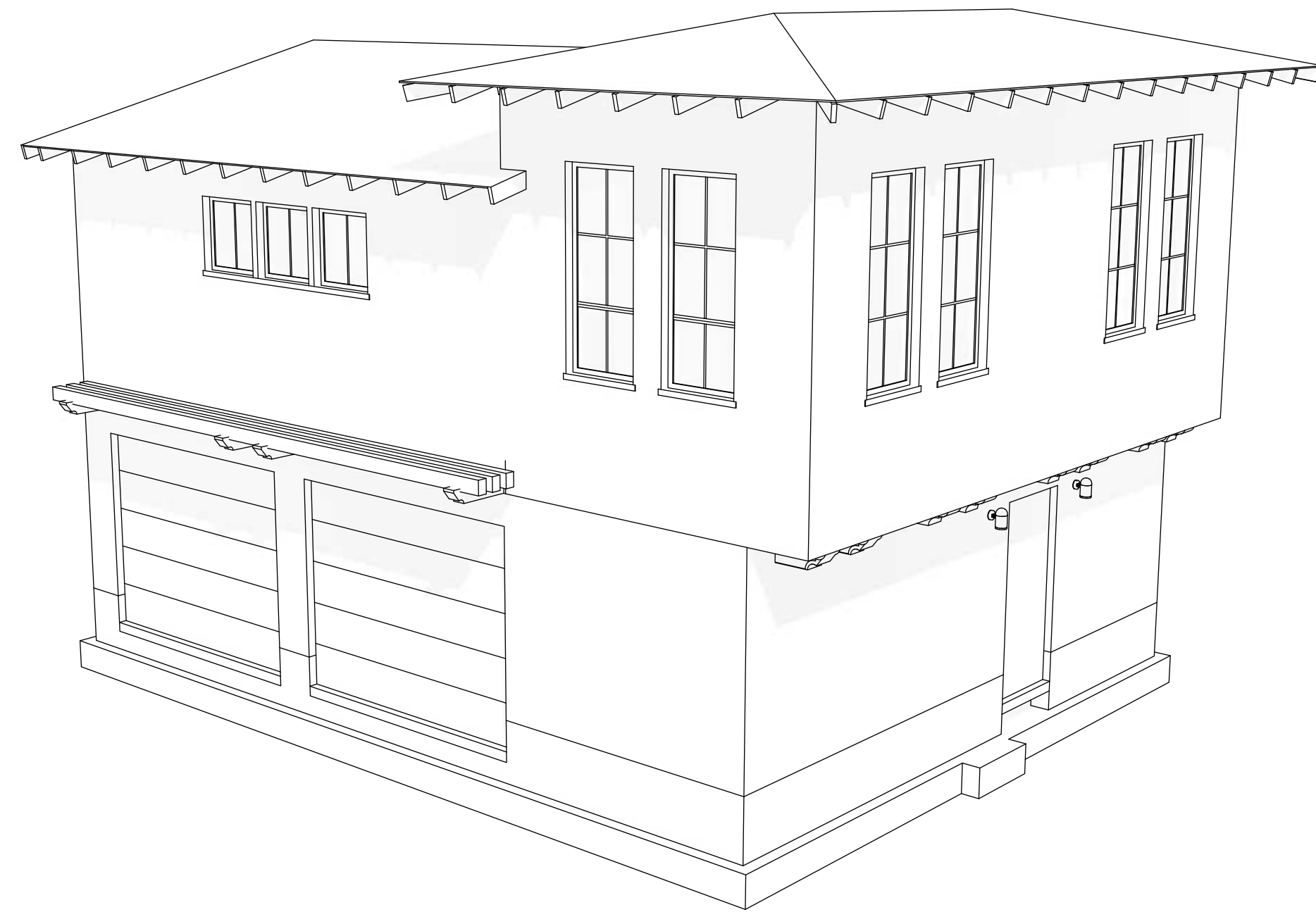
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Elevations

A3.1





1 VIEW
scale: NTS

GLAZING SCHEDULE										
TAG	QTY	LOCATION	ROUGH OPENING DIMENSIONS		U-VALUE	OPERATION	SAFETY GLASS	INSECT SCREEN	COLOR	NOTES
			WIDTH	HEIGHT						
MAIN FLOOR										
A	6	LIVING ROOM, STAIRWAY	2'-6"	6'-0"	.28	PIC	NO	NO	BLACK	SEE ELEVATION FOR MULLION LAYOUT
B	2	LIVING ROOM	2'-6"	6'-0"	.28	AWNING	NO	YES	BLACK	SEE ELEVATION FOR MULLION LAYOUT
C	3	KITCHEN	2'-6"	2'-6"	.28	PIC	NO	NO	BLACK	SEE ELEVATION FOR MULLION LAYOUT
D	2	BEDROOM	2'-6"	5'-0"	.28	CASEMENT	NO	YES	BLACK	SEE ELEVATION FOR MULLION LAYOUT

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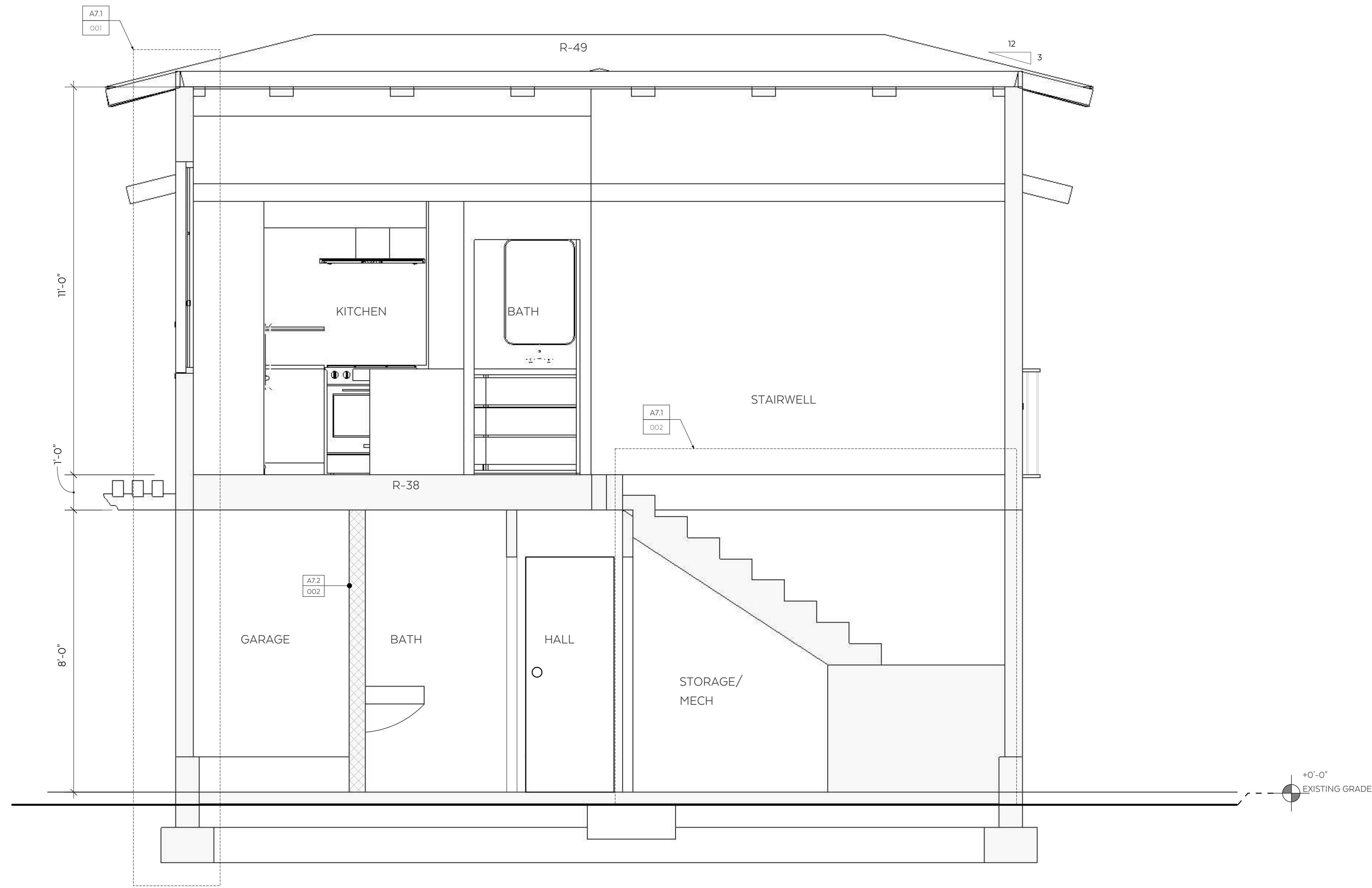
Document Phase:
Schematic Design

rev. date remark

VIEWS

A3.2





1 SECTION A
scale: 1/2"=1'

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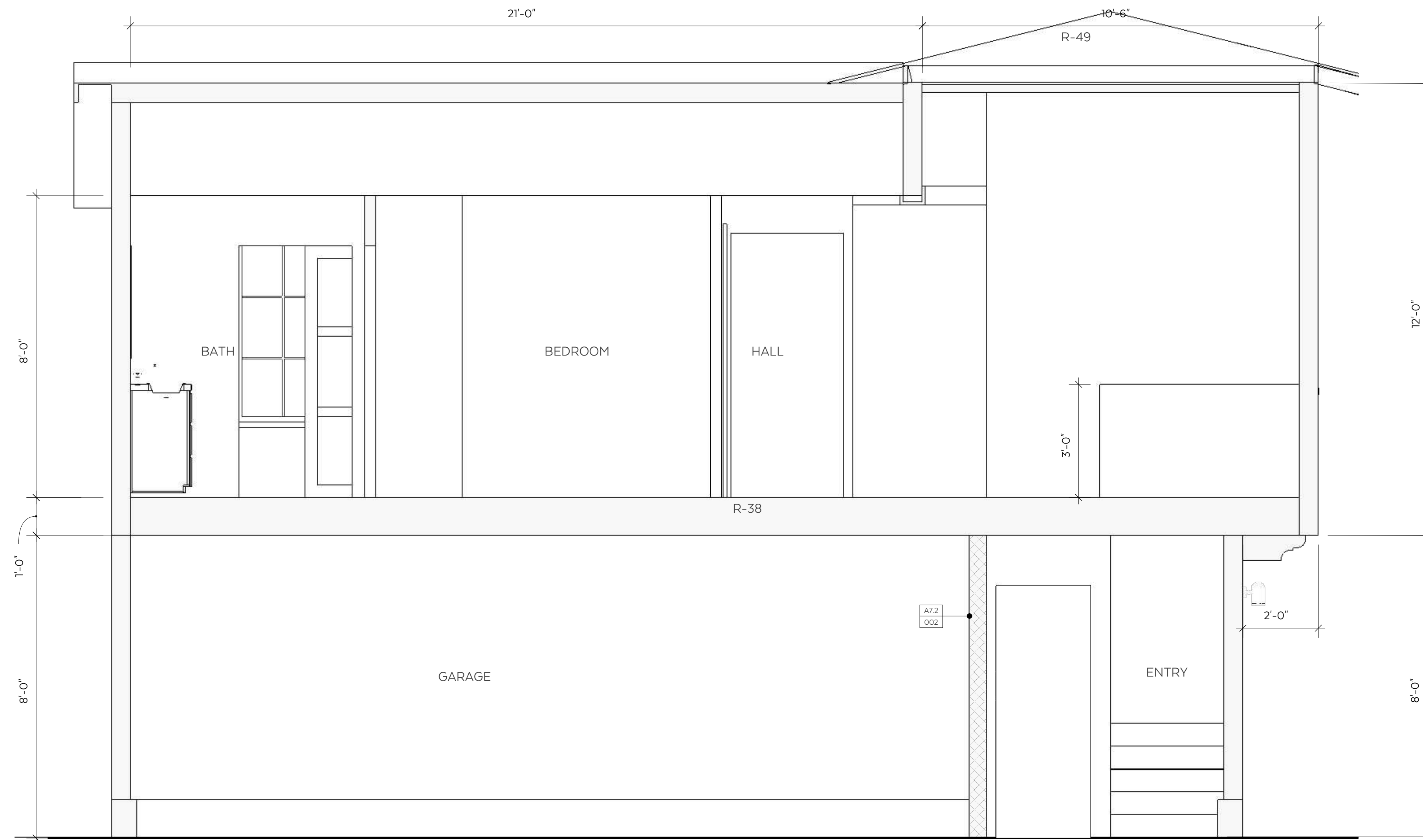
Document Phase:
Schematic Design

rev.	date	remark

Building Section

A3.3





1 SECTION B
scale: 1/2"=1'

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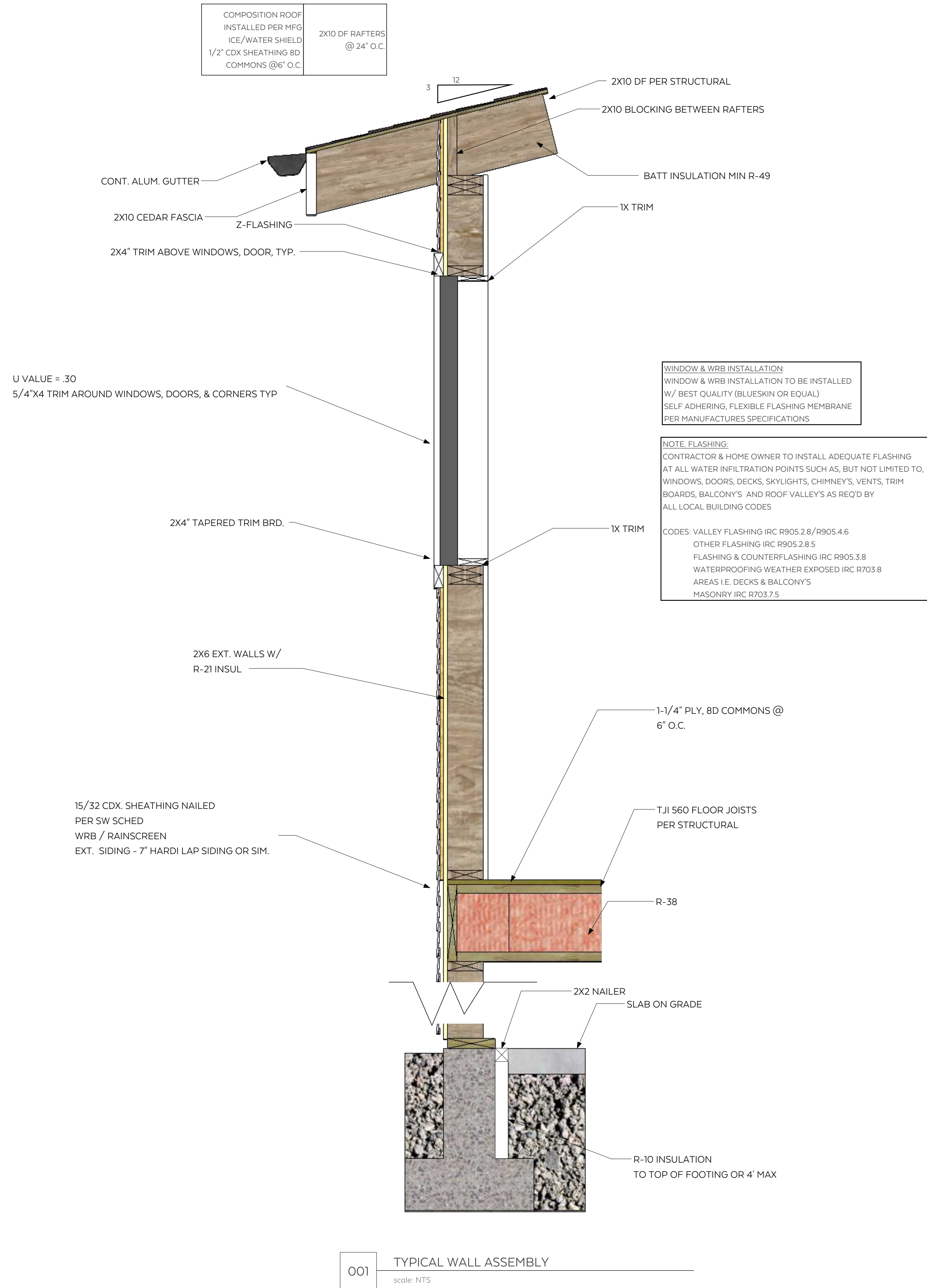
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rev.	date	remark

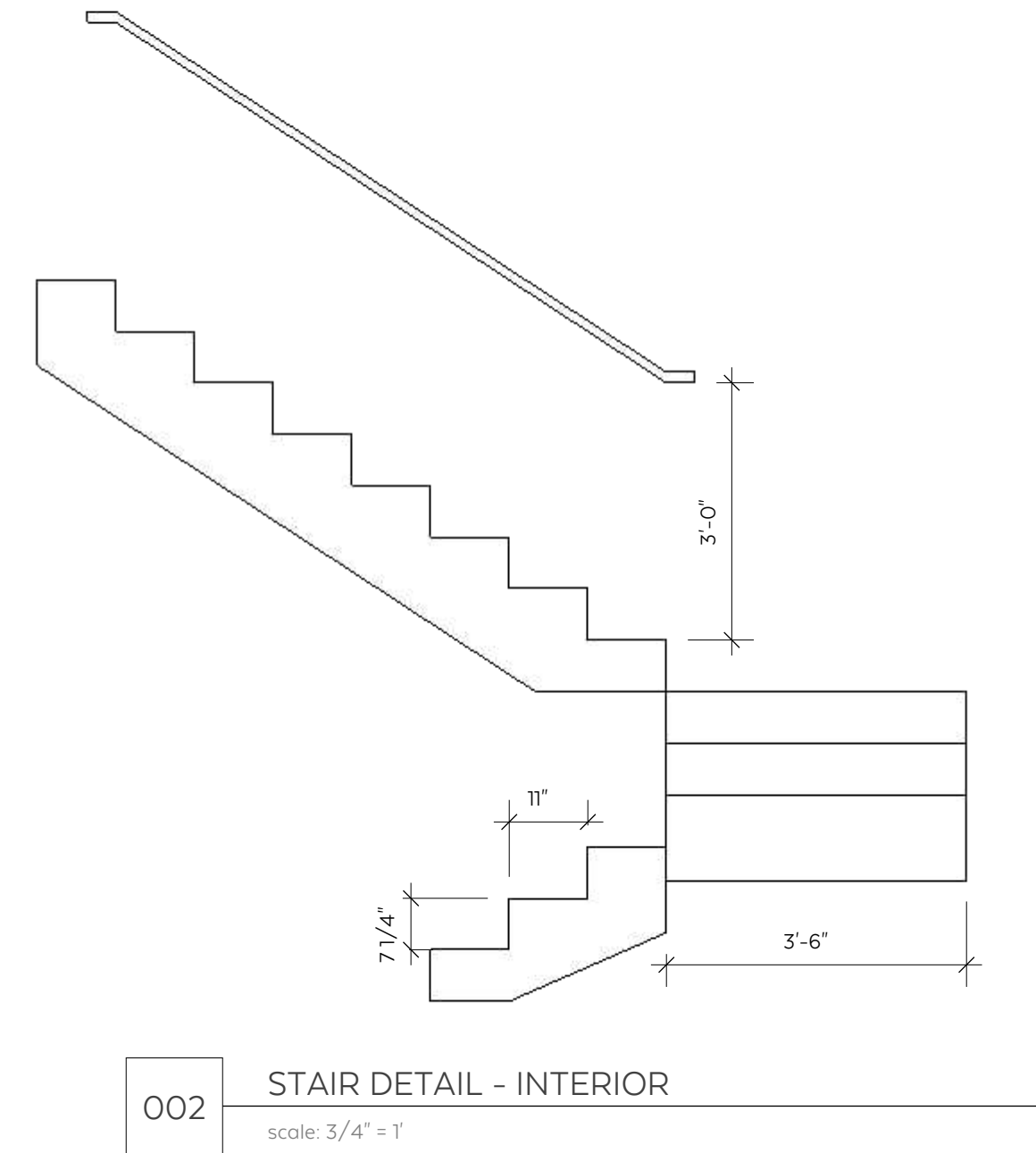
Building Section

A3.4





001 TYPICAL WALL ASSEMBLY
 scale: NTS



HANDRAILS TO COMPLY WITH 2021
 IRC SECTION R311.4.7.8

STAIRS TO COMPLY WITH 2021 IRC
 SECTION R311.7

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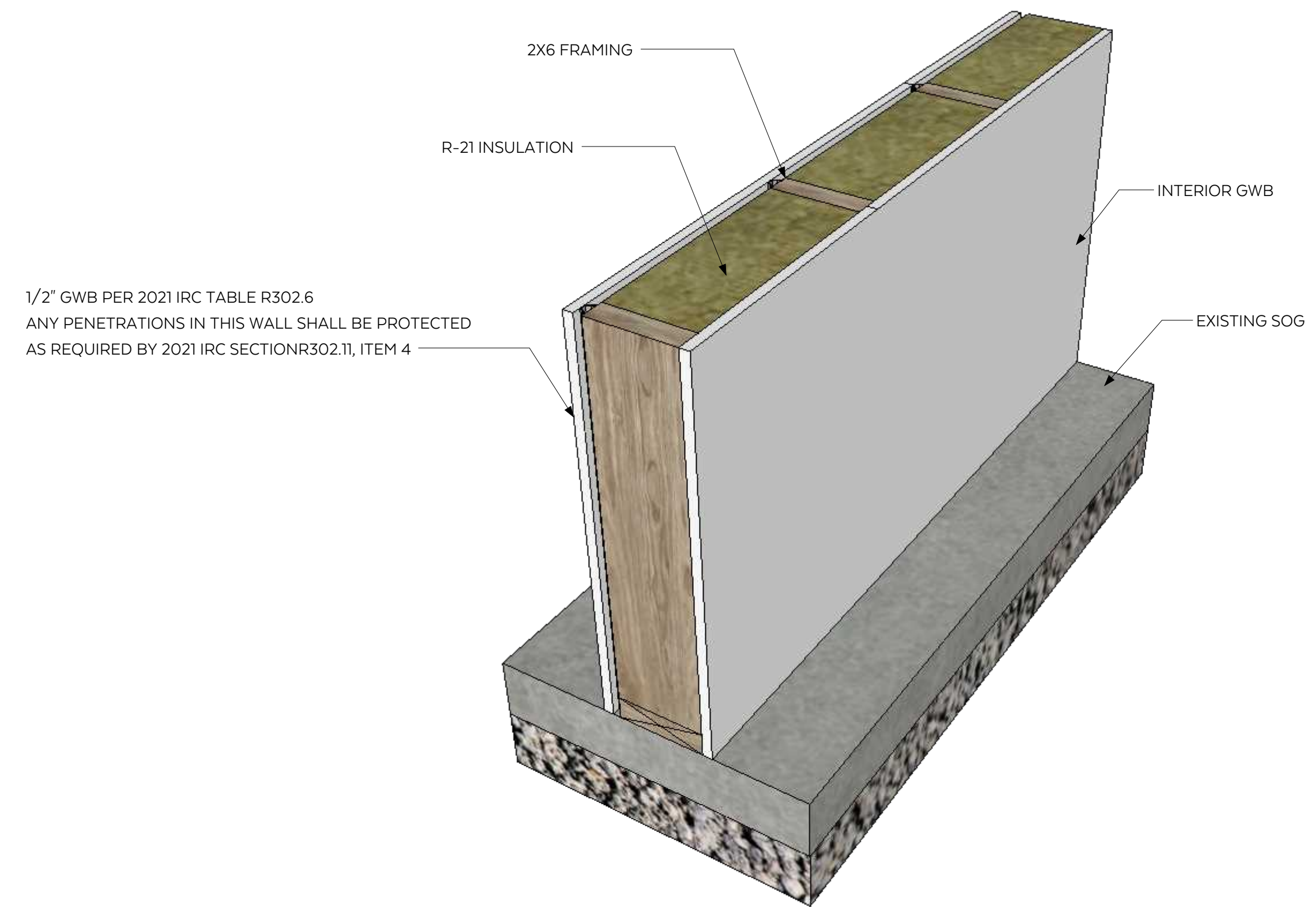
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 Schematic Design

rev.	date	remark
Details		

A7.1

37



2 WALL TYPE 2
scale: NTS

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Details

A7.2

